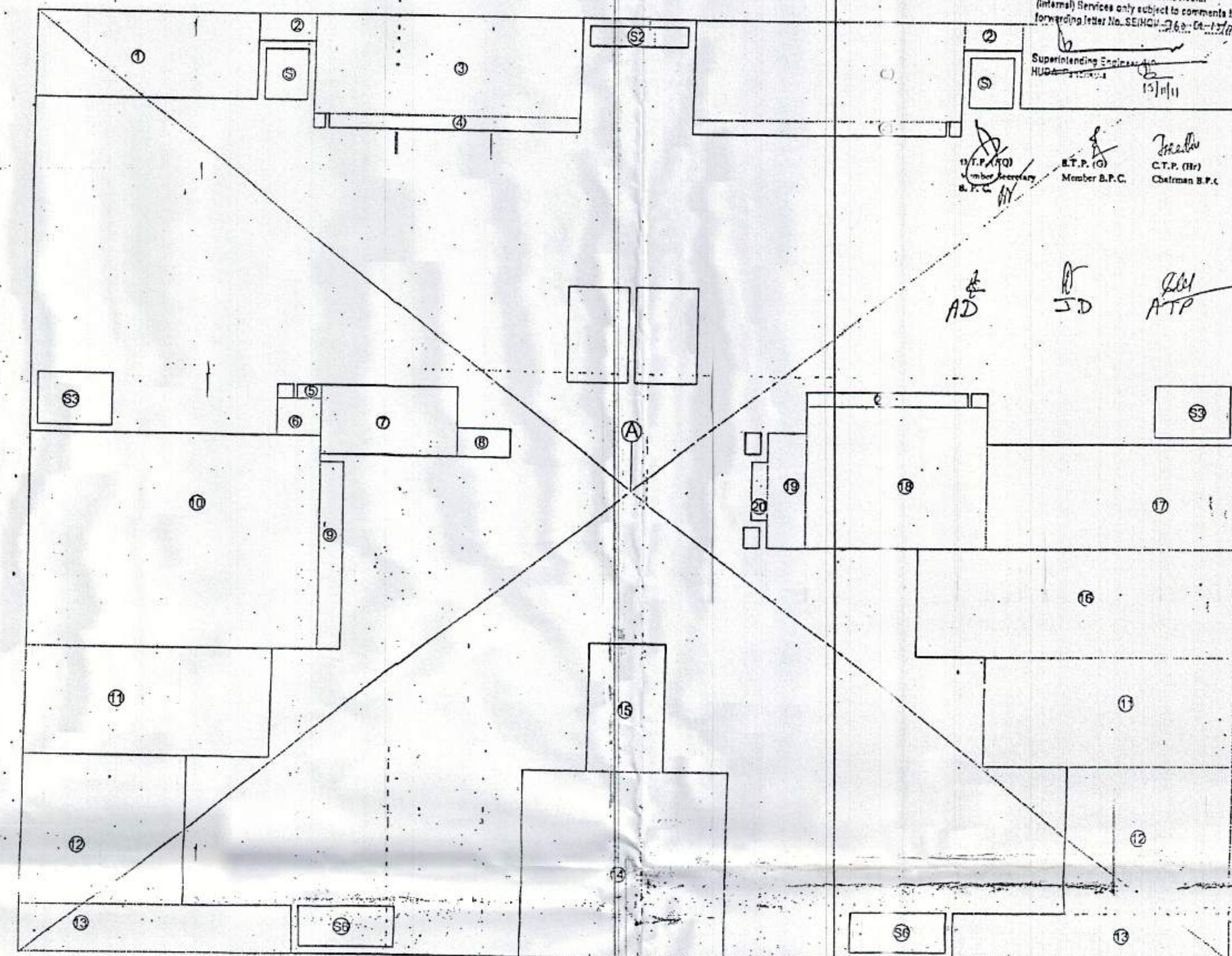


GROUND FLOOR PLAN



GROUND FLOOR PLAN AREA DIAGRAM

GROUND FLOOR PLAN AREA DIAGRAM

A.	= 38.760 x 29.195	= 1131.599 SQM.
DEDUCTION		
1.	= 2(7.125 x 2.630)	= 37.476
2.	= 2(1.845 x 0.830)	= 3.062
3.	= 2(8.565 x 3.080)	= 52.760
4.	= 2(8.080 x 0.450)	= 7.272
5.	= 0.785 x 0.450	= 0.353
6.	= 1.185 x 1.420	= 1.682
7.	= 4.350 x 2.200	= 9.570
8.	= 1.730 x 0.885	= 1.531
9.	= 5.955 x 0.750	= 4.466
10.	= 6.750 x 9.375	= 63.281
11.	= 2(7.900 x 3.315)	= 52.376
12.	= 2(5.235 x 4.575)	= 47.900
13.	= 2(8.765 x 1.500)	= 26.294
14.	= 2(5.845 x 6.650)	= 38.869
15.	= 3.870 x 2.250	= 8.688
16.	= 10.125 x 3.365	= 34.070
17.	= 7.955 x 3.385	= 26.927
18.	= 4.520 x 5.770	= 26.080
19.	= 1.230 x 3.655	= 4.495
20.	= 1.855 x 0.500	= 0.927
21.	= 5.135 x 0.450	= 2.310
S1.	= 2(1.385 x 1.570)	= 4.348
S2.	= 3.230 x 0.600	= 1.938
S3.	= 2(2.400 x 1.670)	= 8.016
S6.	= 2(3.035 x 1.270)	= 7.708

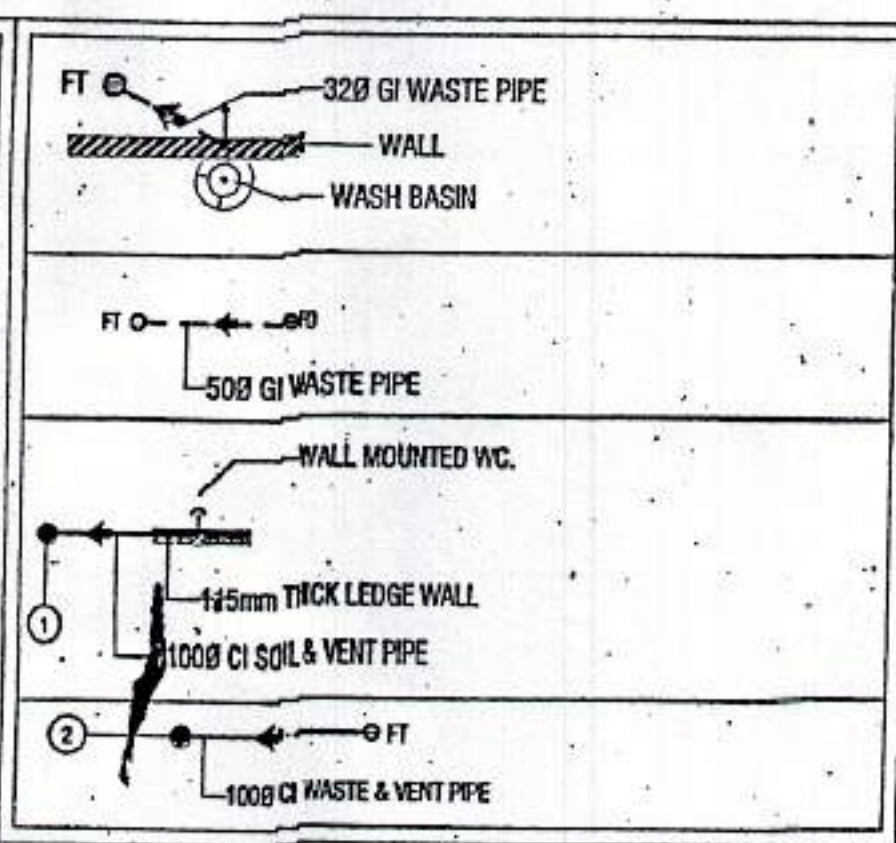
TOTAL DEDUCTION = 473.579 SQM.  
 TOTAL F.A.R. AREA ON GROUND FLOOR =  
 TOTAL AREA - TOTAL DEDUCTION  
 = 1131.598 - 473.579 = 658.019 SQM. (F.A.R. AREA)

PROPOSED COVERAGE	
GROUND FLOOR AREA	= 658.019 SQM. (F.A.R. AREA)
FIRST FLOOR COVD. AREA	= 644.548 SQM. (F.A.R. AREA)
SECOND FLOOR COVD. AREA	= 644.548 SQM. (F.A.R. AREA)
THIRD FLOOR COVD. AREA	= 644.548 SQM. (F.A.R. AREA)
FOURTH FLOOR COVD. AREA	= 644.548 SQM. (F.A.R. AREA)
FIFTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
SIXTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
SEVENTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
EIGHTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
NINTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
TENTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
ELEVENTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
TWELFTH FLOOR COVD. AREA	= 588.009 SQM. (F.A.R. AREA)
THIRTEENTH FLOOR COVD. AREA	= 138.546 SQM. (F.A.R. AREA)
MUMTY/MACHINE ROOM AREA	= 124.338 SQM. (NON F.A.R. AREA)
ACHIVED F.A.R. AREA	= 8078.829 SQM.
TOTAL COVD. AREA	= 8203.167 SQM.

DOORS + WINDOWS SCHEDULE:	
DW	= 2800 x 2600
DW1	= 2500 x 2600
DW2	= 2200 x 2600
DW3	= 3400 x 2600
DW4	= 1620 x 2600
DW5	= 1650 x 2600
D	= 1000 x 2600
D1	= 750 x 2600
DW/EF1	= 2350 x 2600
W	= 900 x 2300
W1	= 1800 x 2300
V/PV	= 900 x 400
EF	= 460 DIA

PLUMBING NOTES:-	
1.	
2.	KITCHEN SINK TO FLOOR TRAP FLEXIBLE PIPE.
3.	FLOOR DRAIN (FD) TO FLOOR TRAP (FT) 63 OD UPVC WASTE PIPE.
4.	110 OD UPVC PIPE USED FOR SOIL & WASTE.
5.	110 OD UPVC PIPE USED FOR TERRACE RAIN WATER.
6.	90 OD UPVC PIPE USED FOR BALCONY.

SCHEDULE OF PIPES :-	
PIPE NO.	DESCRIPTION
1	110 OD UPVC SOIL & VENT PIPE
2	110 OD UPVC WASTE & VENT PIPE
3	75 OD UPVC ANTI-SYPHONAGE PIPE
4	110 OD UPVC TERRACE RAIN WATER PIPE
5	90 OD UPVC BALCONY RAIN WATER PIPE
6	DOMESTIC WATER SUPPLY D/N TAKE PIPE
7	FLUSHING WATER SUPPLY D/N TAKE PIPE
8	DOMESTIC WATER SUPPLY RISER *
9	FLUSHING WATER SUPPLY RISER *
10	HOT WATER SUPPLY D/N TAKE PIPE FROM SOLAR PANEL.
11	DOMESTIC WATER SUPPLY D/N TAKE PIPE FOR TOP 4TH FLOOR
FT	FLOOR TRAP (110x110) MM
FD	FLOOR DRAIN (110x63) MM
BD	BALCONY DRAIN (110x63) MM
BT	BATH TUB TRAP
OD	OUTER DIA OF PIPE



Checked and found ok for Public Health (Internal) Services only subject to comments in forwarding letter No. SE/NGU-263/13/11/11  
 13/11/11  
 Supervising Engineer  
 HUDA

AD  
 JD  
 ATP  
 Member B.P.C.  
 Chairman B.P.C.

**TOWER - 8**

OWNERS SIGN: \_\_\_\_\_ ARCHITECTS SIGN: \_\_\_\_\_  
 For Shivnandan Buildtech Pvt. Ltd. ARCHITECT: RAJESH JAIN  
 Authorized Signatory: CA/192/19578

Project: PROPOSED GROUP HOUSING COLONY  
 MEASURING 12.031 ACRE LICENCE NO. 70 OF 2011  
 DATED 22.07.2011 IN SECTOR-99, GURGAON  
 MAHESAR URBAN COMPLEX.

Client: M/S SHIVNANDAN BUILDTECH PVT. LTD.

SCALE: 1:100  
 DATE: 13 JUNE, 2011

DRAWN: RAJ SUBMISSION DRAWING  
 CHECKED: R.J. FLOOR PLANS & AREA CALCULATION  
 APPROVED: R.J.

DRG. NO: 32  
 ARCHITECT: Ichinen ARCHITECTS PRIVATE LIMITED  
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