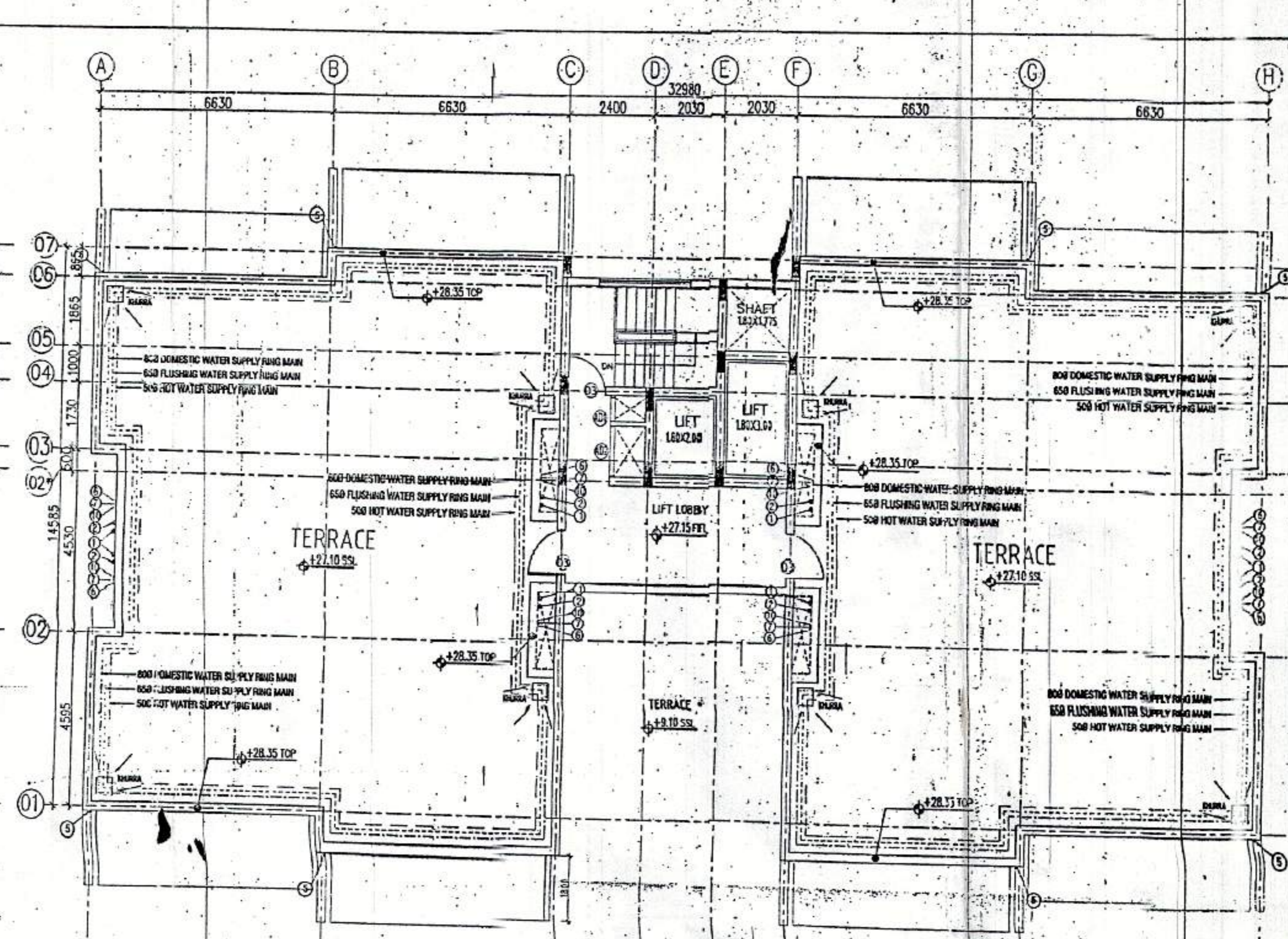


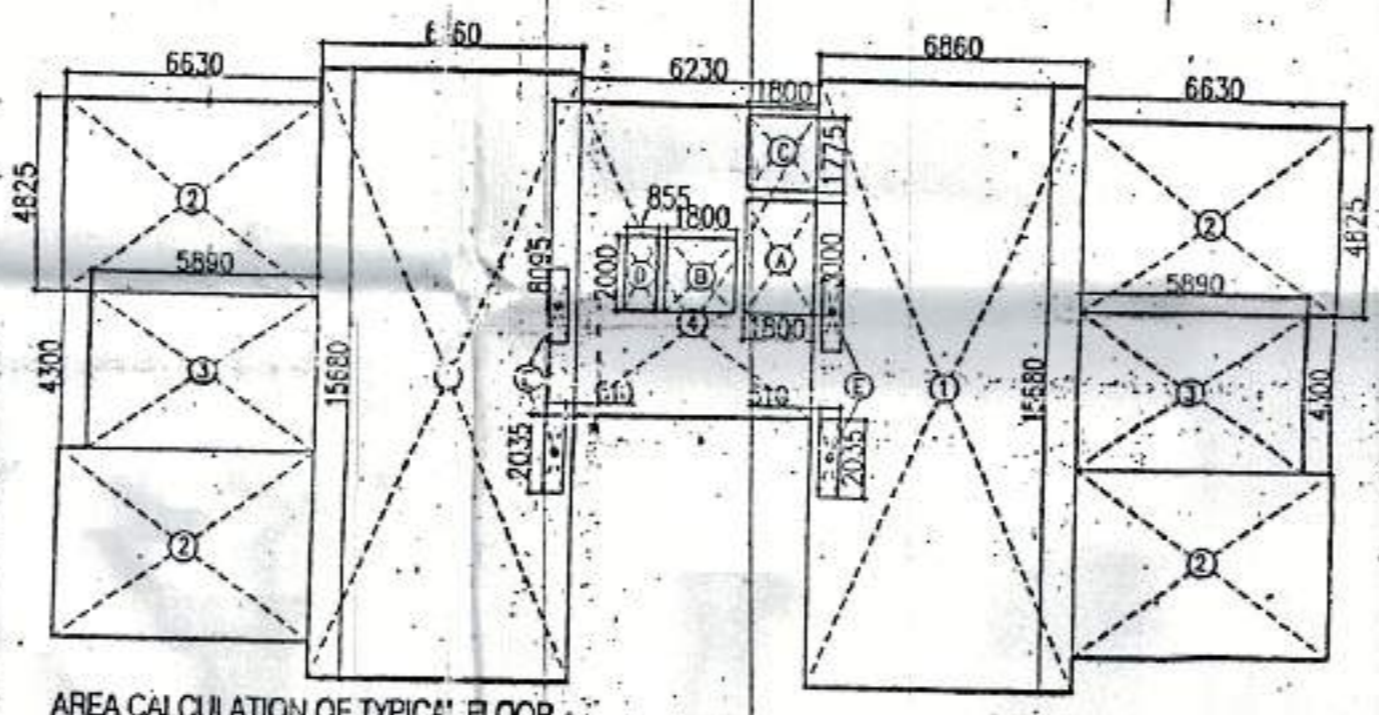
(A) TYPICAL FLOOR PLAN (1st to 8th floor) (SCALE 1:100)

AREA CALCULATION OF TYPICAL FLOOR DEDUCTION

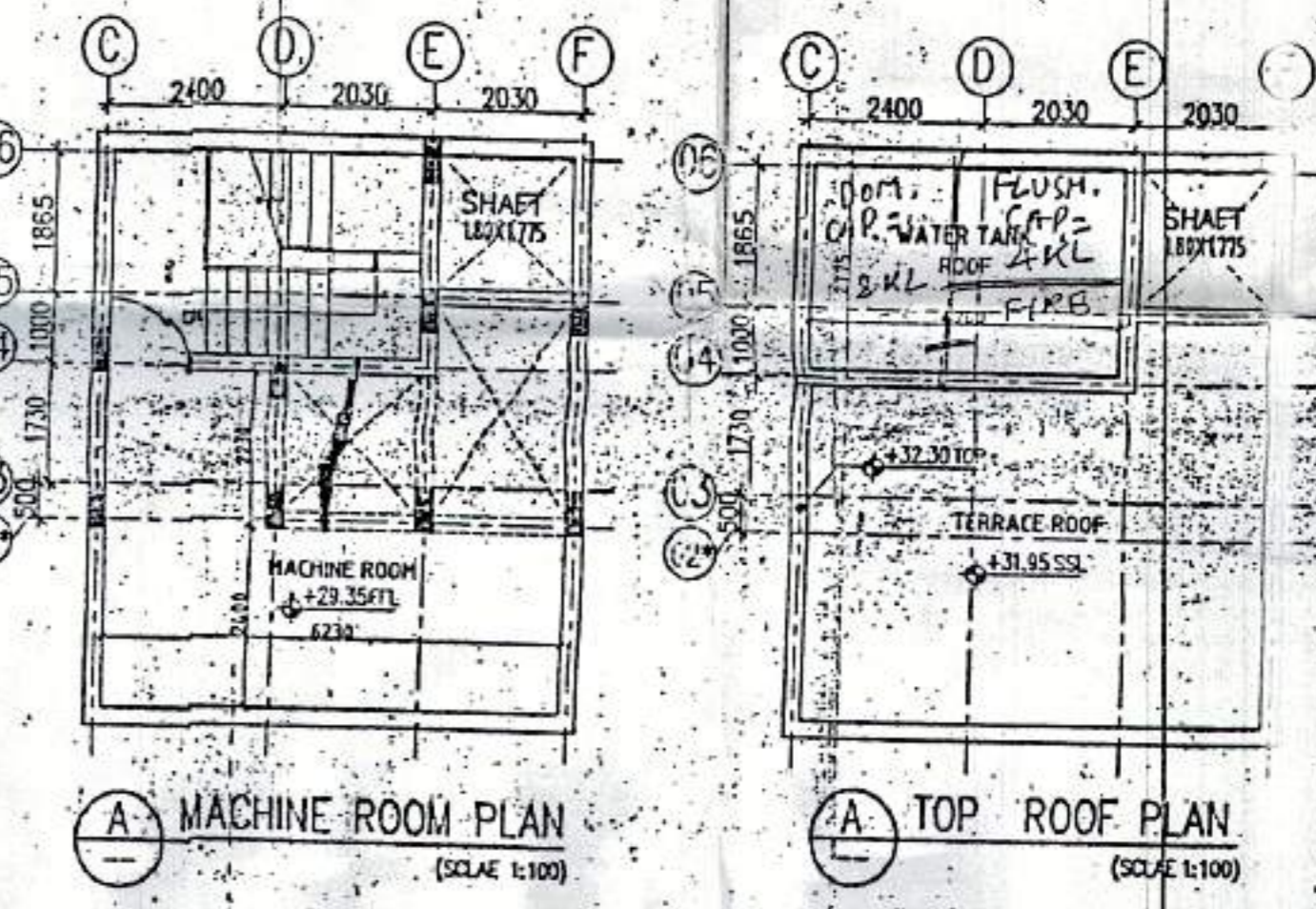
S.NO	AREA (SQ.MT.)	S.NO	AREA (SQ.MT.)
1	6.86x15.68x2 = 215.1	A	1.80x3.00 = 5.40
2	6.63x4.82x4 = 127.96	B	1.80x2.00 = 3.60
3	5.89x4.30x2 = 50.65	C	1.80x1.775 = 3.20
4	6.23x8.095 = 50.43	D	0.855x2.00 = 1.71
		E	0.51x2.035x4 = 4.15
TOTAL AREA 444.17 SQ.MT.		TOTAL AREA 18.06 SQ.MT.	
FAR AREA CALCULATION 444.17 - 18.06 = 426.11 SQ.MT.			



(A) ROOF PLAN (SCALE 1:100)



AREA CALCULATION OF TYPICAL FLOOR (SCALE 1:200)

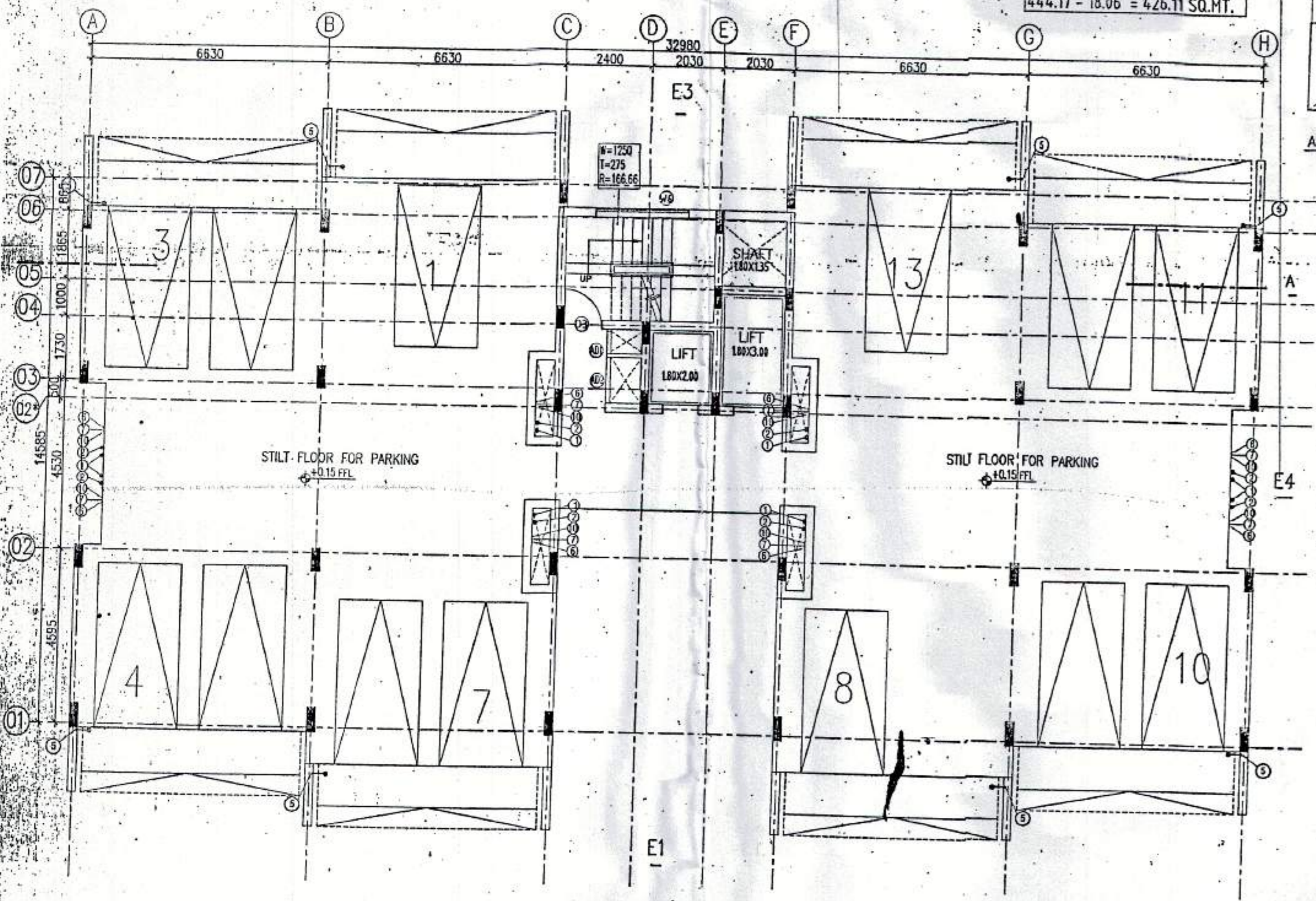


(A) MACHINE ROOM PLAN (SCALE 1:100)

(A) TOP ROOF PLAN (SCALE 1:100)

AREA CALCULATION OF GROUND COVERAGE DEDUCTION

S.NO	AREA (SQ.MT.)	S.NO	AREA (SQ.MT.)
1	6.86x15.68x2 = 215.1	A	1.80x1.775 = 3.20
2	6.63x4.82x4 = 127.96	B	0.855x2.00 = 1.71
3	5.89x4.30x2 = 50.65	C	0.51x2.035x4 = 4.15
X	6.23x8.095 = 50.43	TOTAL AREA 9.06 SQ.MT.	
TOTAL AREA 444.17 SQ.MT.		PROP. GR. COVERAGE 444.17 - 9.06 = 435.11 SQ.MT.	



(A) STILT FLOOR PLAN (SCALE 1:100)

SCHEDULE OF DOORS AND WINDOWS

S.NO	ITEM	WIDTH	HEIGHT	CILL	LINTEL	REMARKS	ITEM	WIDTH	HEIGHT	CILL	LINTEL	REMARKS
1	D1	900	2100	-	2100	-	12	GL1a	5700	2800	-	2800
2	D2	750	2100	-	2100	-	13	GL2	7000	2800	-	2800
3	D3	1050	2100	-	2100	-	14	GL3	1600	2800	-	2800
4	DW1	2700	2400	-	2400	-	15	GL4	5500	2800	-	2800
5	W1	2700	2250	150	2400	-	16	GL5	3600	2800	-	2800
6	W2	5700	2250	150	2400	-	17	GL6	3850	2800	-	2800
7	W3	3200	2250	150	2400	-	18	GL7	1800	2800	-	2800
8	W4	1000	1950	450	2400	-	19	GL8	2100	2800	-	2800
9	W5	600	900	150	2400	-	20	GL9	4000	2800	-	2800
10	W6	2600	2250	150	2400	-	21	GL10	2700	2400	-	2400
11	GL1	5700	2800	-	2800	-	22	GL11	5700	2400	-	2400

STILT FLOOR FAR CALCULATION

S.NO	AREA (SQ.MT.)
X	6.23x8.095 = 50.43
TOTAL AREA 50.43 SQ.MT.	

DEDUCTION

S.NO	AREA (SQ.MT.)
A	1.80x1.775 = 3.20
B	0.855x2.00 = 1.71
TOTAL AREA 4.91 SQ.MT.	

FAR AREA CALCULATION STILT FLOOR
50.43 - 4.91 = 45.52 SQ.MT.

STILT AREA FOR PARKING = X-GROUND COVERAGE
435.11 - 45.52 = 389.59 SQ.MT.
389.59 / 30 = 12.99 ECS = 13 NOS. PROVIDED

- NOTES:
- ALL TOILETS SHALL HAVE SUNKEN SLAB OR SLAB SHALL BE CAST AT BOTTOM AREA (100MM SUNK).
 - ALL BALCONY SHALL HAVE 75MM DROP FROM FFL.

PLUMBING NOTES:-

- WASH BASIN TO FLOOR TRAP (FT) 40 OD UPVC PIPE.
- KITCHEN SINK TO FLOOR TRAP FLEXIBLE PIPE.
- FLOOR DRAIN (FD) TO FLOOR TRAP (FT) 63 OD UPVC WASTE PIPE.
- 110 OD UPVC PIPE USED FOR SOIL & WASTE.
- 110 OD UPVC PIPE USED FOR TERRACE RAIN WATER.
- 90 OD UPVC PIPE USED FOR BALCONY.

SCHEDULE OF PIPES :-

PIPE NO.	DESCRIPTION
1	110 OD UPVC SOIL & VENT PIPE
2	110 OD UPVC WASTE & VENT PIPE
3	75 OD UPVC ANTI-SYPHONAGE PIPE
4	110 OD UPVC TERRACE RAIN WATER PIPE
5	90 OD UPVC BALCONY RAIN WATER PIPE
6	DOMESTIC WATER SUPPLY D/N TAKE PIPE
7	FLUSHING WATER SUPPLY D/N TAKE PIPE
8	DOMESTIC WATER SUPPLY RISER *
9	FLUSHING WATER SUPPLY RISER *
10	HOT WATER SUPPLY D/N TAKE PIPE FROM SOLAR PANEL
11	DOMESTIC WATER SUPPLY D/N TAKE PIPE FOR TOP 4TH FLOOR

- FT FLOOR TRAP (110x110) MM
- FD FLOOR DRAIN (110x63) MM
- BD BALCONY DRAIN (110x63) MM
- BT BATH TUB TRAP
- OD OUTER DIA. OF PIPE
- FT WASH BASIN
- W WALL
- 320 GI WASTE PIPE
- FT
- 115mm THICK LEDGE WALL
- 1000 CI SOIL & VENT PIPE
- 1000 CI WASTE & VENT PIPE

OWNER'S SIGN. ARCHITECT'S SIGN.
For Shivnandan Buildtech Pvt. Ltd. ARCHITECT: RAJESH JAIN
CA/91/13678

Project: PROPOSED GROUP HOUSING COLONY MEASURING 12.031 ACRE LICENCE NO. 70 OF 2011 DATED 22.07.2011 IN SECTOR-99, GURGAON MANESAR URBAN COMPLEX.

Client: M/S SHIVNANDAN BUILDTECH PVT. LTD

DATE: 15 JUNE, 2011
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